



May 30, 2018

**TO:** LOCSD Board of Directors  
**FROM:** Jose Acosta, Utility Systems Manager *JA*  
**SUBJECT:** **Agenda Item 12B – 6/7/2018 Board Meeting**  
Request from Arnold Builders Regarding Proposed Construction  
at 1239 11<sup>th</sup> Street

**President**  
Vicki L. Milledge

**Vice President**  
Marshall E. Ochylski

**Directors**  
Charles L. Cesena  
Louis G. Tornatzky  
Christine M. Womack

**General Manager**  
Renee Osborne

**District Accountant**  
Robert Stilts, CPA

**Unit Chief**  
Scott M. Jalbert

**Battalion Chief**  
Greg Alex

**Mailing Address:**  
P.O. Box 6064  
Los Osos, CA 93412

**Offices:**  
2122 9<sup>th</sup> Street, Suite 102  
Los Osos, CA 93402

**Phone:** 805/528-9370  
**FAX:** 805/528-9377

[www.losososcscsd.org](http://www.losososcscsd.org)

### DESCRIPTION

Mr. Arnold came in to the District office to seek a recommendation on proceeding with the permitting process at 1239 11<sup>th</sup> Street, Los Osos.

### STAFF RECOMMENDATION

Staff is requesting that the Board provide direction on a recommendation allowing or disallowing Mr. Arnold to proceed with the permitting process and recommend one of the following motions:

**1. Motion:** *I move that the Board recommend to Mr. Arnold to proceed with his permitting process; to direct staff to compile a letter for the San Luis Obispo County Building Department stating that the residence currently has water service, is in good standing, and that the District does not anticipate the construction to add additional impact to the water system.*

*or*

**2. Motion:** *I move to direct staff to advise Mr. Arnold that the District will not provide a letter for this project.*

### DISCUSSION

Mr. Arnold came in to the District office, the week of April 23<sup>rd</sup>, 2018, to seek a recommendation on proceeding with the project at 1239 11<sup>th</sup> Street in Los Osos, within the District's boundaries. Mr. Arnold has not initiated the permitting process for this project.

Mr. Arnold presented copies of the plans for the project and provided information in regards to plumbing fixtures at the new and old residences. The information provided was that the residents would like to construct a new house on the property with the same water fixtures as the old unit. The old residence currently has 2 bedrooms, 2 bathrooms, and a kitchen; the new residence would contain the same living arrangements. The old unit would be stripped of all plumbing fixtures and remain only as storage, garage and art studio dwelling.

This project is for new construction. Staff does not have the authority to approve any new construction and thus recommended Mr. Arnold submit all information for Board consideration.

Staff recommended that Mr. Arnold compile an email and include all information pertaining to this project, including information for the living spaces and water fixtures being proposed. Mr. Arnold sent an email on Friday April 27, 2018 with the information.

Attached for Board review are the plans and drawings for the project being proposed at the property. Also attached is a statement with the project summary and scope of work.

Attachments



**CONCRETE**  
805.503.8162

**FRAMING**

**SIDING**  
942964

arnoldBUILDERS  
PO Box 7154  
Los Osos CA 93412  
805 503 8162  
Arnoldbuilders@live.com

April 27, 2018

Project Address: 1239 11<sup>th</sup> Street Los Osos

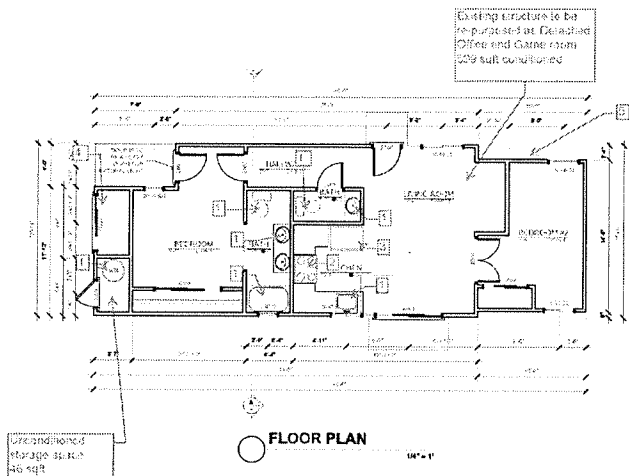
APN: 038-141-032

Permit:

#### Project Summary and Scope

1. Construct New Main Residence
  - 1.1. 1636 square feet conditioned
  - 1.2. 864 non-conditioned
  - 1.3. 2 bedrooms 2.5 baths
2. Renovate existing residence and repurpose as office and game room/art studio
  - 2.1. Remove all plumbing fixtures
  - 2.2. Remove oven and range
  - 2.3. Remove full size refrigerator
  - 2.4. Remove laundry service
3. Upgrade Electrical Panel





- Notes:
1. Remove plumbing fixture/appliance
  2. Remove oven range
  3. Remove full size refrigerator
  4. Remove Washer and Dryer
  5. Electrical panel upgrade 400 amp service

Revisions	By
12.17.2017	

Drawn By  
 Randy O'Connor  
 945 12th Street, G  
 San Rafael, Calif.  
 94901-2109

**REMODEL  
 EXISTING**

**ARNOLD RESIDENCE**  
 NICK ARNOLD, 12911 13th STREET,  
 LOS OROS, CALIFORNIA 95021  
 95021-0101

04.21.2017

1a

**NOTES:**

1. All dimensions shall be taken from the centerline of the wall unless otherwise indicated.

2. All openings shall be finished with a minimum of 1/2" clearance.

3. All doors shall be 28" wide and 80" high unless otherwise indicated.

4. All windows shall be 24" wide and 48" high unless otherwise indicated.

5. All exterior walls shall be finished with a minimum of 1/2" clearance.

6. All interior walls shall be finished with a minimum of 1/2" clearance.

7. All floors shall be finished with a minimum of 1/2" clearance.

8. All ceilings shall be finished with a minimum of 1/2" clearance.

9. All stairs shall be finished with a minimum of 1/2" clearance.

10. All structural elements shall be finished with a minimum of 1/2" clearance.

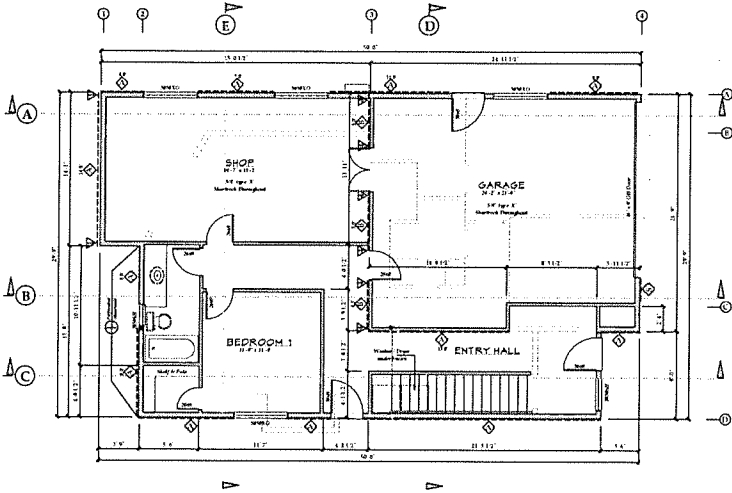
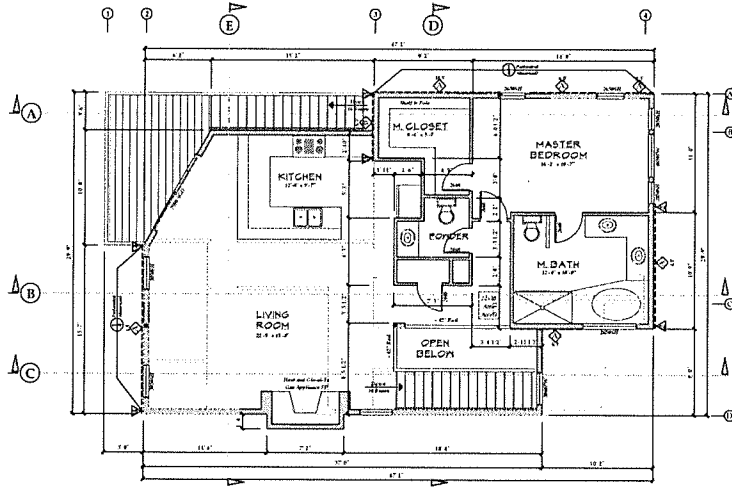
11. All mechanical elements shall be finished with a minimum of 1/2" clearance.

12. All electrical elements shall be finished with a minimum of 1/2" clearance.

13. All plumbing elements shall be finished with a minimum of 1/2" clearance.

14. All fire protection elements shall be finished with a minimum of 1/2" clearance.

15. All other elements shall be finished with a minimum of 1/2" clearance.



NO.	DESCRIPTION	DATE	BY	REVISION
1	PREPARED	12/15/2017	AS	
2	REVISED	12/15/2017	AS	
3	REVISED	12/15/2017	AS	
4	REVISED	12/15/2017	AS	

NO.	DESCRIPTION	DATE	BY	REVISION
1	PREPARED	12/15/2017	AS	
2	REVISED	12/15/2017	AS	
3	REVISED	12/15/2017	AS	
4	REVISED	12/15/2017	AS	

Revisions	By
12/15/2017	

Drawing By  
 Randy O'Connor  
 845 12th Street, C  
 Independence, MO 64113  
 816.337.1437

# FLOORPLANS

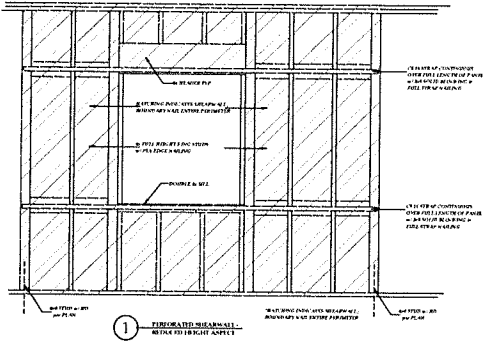
**ARNOLD RESIDENCE**  
 1239 11th Street,  
 Los Osos, California 94026  
 408.543.4142

12/15/2017

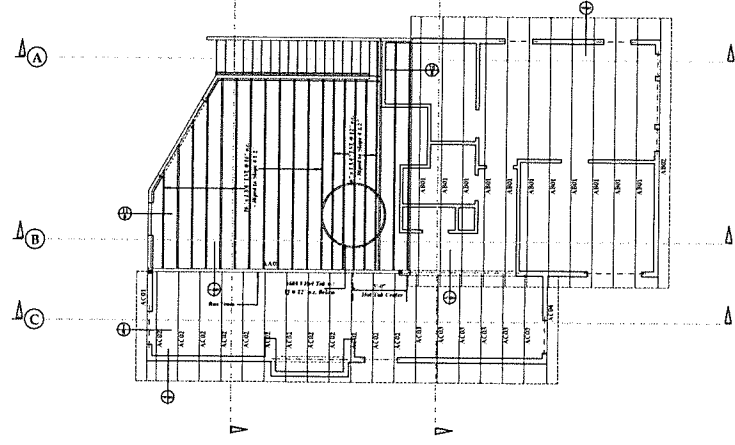
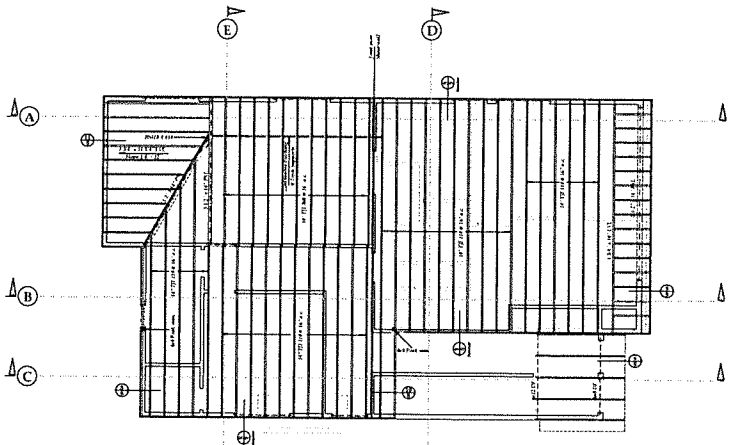
UPPER PLAN

LOWER PLAN





ALL RINKS SHOWN TO BE RADIANT BARRIER  
 ALL FRAMERS TO BE 4x4 OR 4x6 LUNG  
 ALL SINKING SHALL COMPLY WITH THE TABLE UNDER  
 FASTENERS TO PENETRATION SHALL BE USED  
 AND WHERE PENETRATION ARE TO BE  
 APPROVED INSURING THROUGH OR TOPPING  
 REINFORCED OR HOT DIPPED ZINC COATED  
 STEEL PER IBC 506.5.1



**FLOOR FRAMING**

**ROOF FRAMING**

Revision	By
12.27.2017	

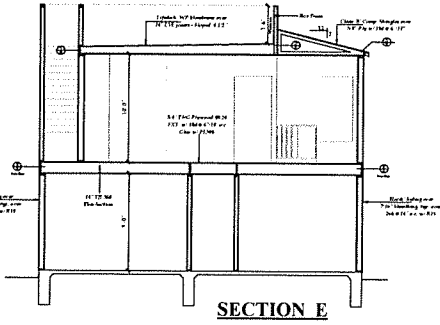
Drawings By  
**Randy O'Connor**  
 943 12th Street, C  
 Pasadena, Calif.  
 800.217.1607

**ROOF FRAMING**

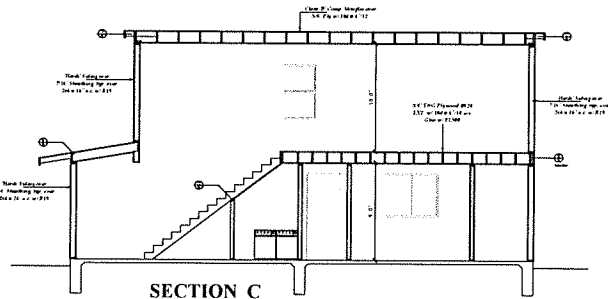
**ARNOLD RESIDENCE**  
 1134 11TH STREET,  
 LOS ANGELES, CALIFORNIA 90021  
 800.217.1607

Rev	Date
1	04.22.2017
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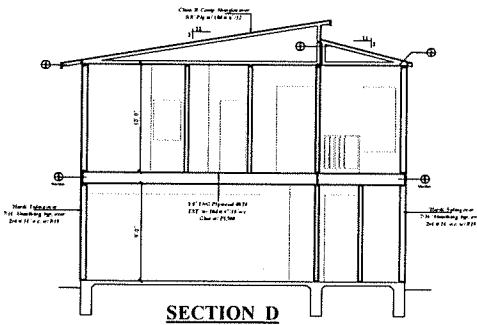




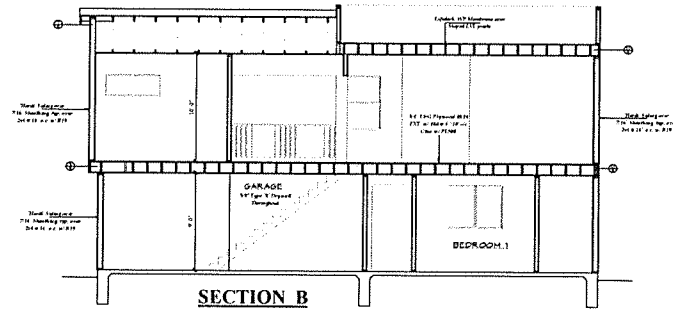
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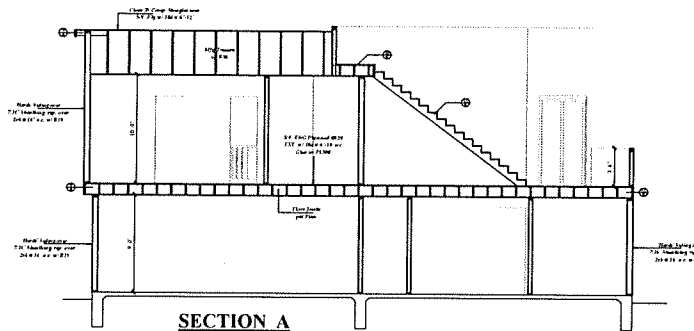
**SECTION C**



**SECTION D**



**SECTION B**



**SECTION A**

Revisions	By
12.27.2017	

Drawings by  
 Randy O'Connor  
 945 12th Street, G  
 Paso Robles, CA 92571  
 805.227.7607

**SECTIONS**

**ARNOLD RESIDENCE**  
 NICK ARNOLD, 12911TH STREET,  
 LOS OROS, CALIFORNIA 95028

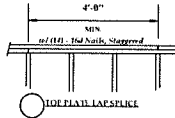
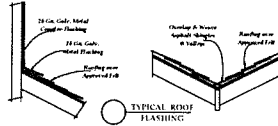
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Carotene reinforced ends of  
 mesh openings of 1/2" max. for 1" x 1" mesh  
 shall be provided at the ends of mesh in  
 1. The side or fully operational ends with 18" system or  
 2. The end to mesh 18" clear grade or walking  
 surface and the full opening end of mesh shall  
 be the end of position reinforced construction.  
 Obstruction and removal shall be designed  
 to permit the inclusion of doors and hatching systems.  
 Walls opening into the attic or ceiling  
 shall be covered with a minimum mesh  
 mesh opening of 1/2" max. for 1" x 1" mesh.

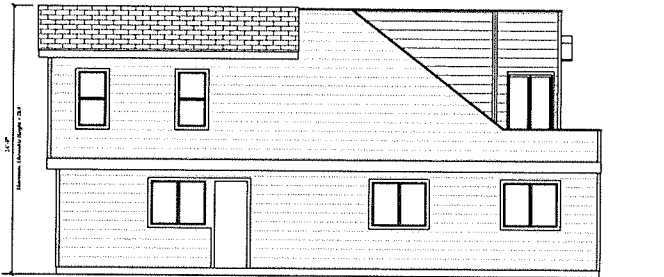
Interior window, window walls, glass doors and glass  
 openings in the doors shall be done place of mesh with a minimum  
 of two tempered glass panes shall be done with mesh shall have  
 for resistance cutting of not less than 18 inches. 18 inch panes  
 mesh of metal shall have solid structure and metal reinforcement  
 in the end of mesh area.

Exterior window, window walls, glass doors and other  
 shall be provided with the same  
 provided for reinforcement of doors and mesh.

**ROOFING TO BE INSTALLED IN THE FINISHING PLACES**  
 1) IN CONFORMANCE WITH ALL CODES AND STANDARDS.  
 2) IN CONFORMANCE WITH THE MANUFACTURER'S  
 INSTRUCTIONS.  
 3) IN CONFORMANCE WITH THE MANUFACTURER'S  
 INSTRUCTIONS.  
 4) IN CONFORMANCE WITH THE MANUFACTURER'S  
 INSTRUCTIONS.  
 5) IN CONFORMANCE WITH THE MANUFACTURER'S  
 INSTRUCTIONS.



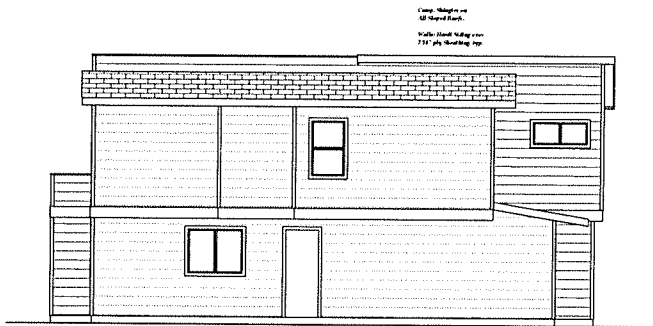
**RESIDENTIAL VENTILATION**  
 ALL IN - 5/8\"/>



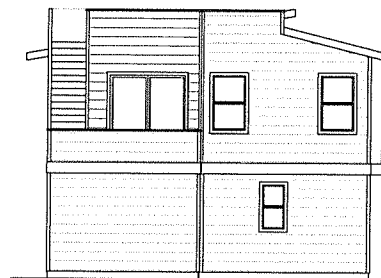
**NORTH ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION**

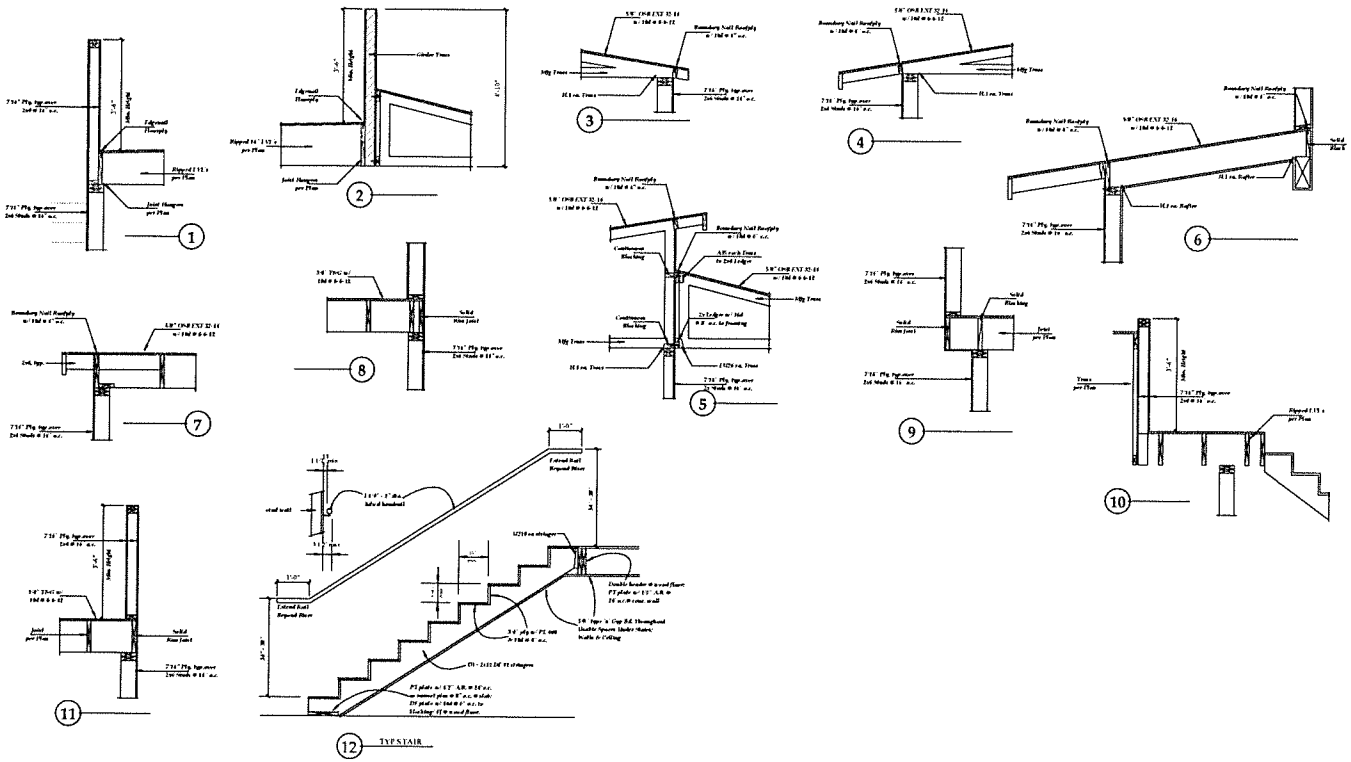
Revision	By
12.27.2017	

Drawings by  
 Randy O'Connor  
 9413 12th Street, G  
 Paso Robles, Calif.  
 805-237-1607

**ELEVATIONS**

**ARNOLD RESIDENCE**  
 NICK ARNOLD, 1254 11TH STREET,  
 LON GON, CALIFORNIA 9362  
 805-237-1607

Date 04.23.2017  
 Title  
 Drawn By  
 Check By  
 Scale  
 6



Revisions	By
12.27.2017	

Drawings By  
 Randy O'Connor  
 9413 11th Street, C  
 Fresno, California  
 93727-1497

**DETAILS**

**ARNOLD RESIDENCE**  
 NICK ARNOLD, 129 11TH STREET,  
 LOS ANGELES, CALIFORNIA 90012

Date	04.23.2017
Drawn	
Checked	
Scale	
Sheet No.	7



**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: 1100 W. 27th St  
 Calculation Date: 11/11/2014  
 Final File Name: 1100W27th.rvt

Page 1 of 4

Item	Code	Requirement	Compliance	Notes
1	101	Minimum Energy Use Index (EUI)	Compliant	
2	102	Minimum Energy Star Rating	Compliant	
3	103	Minimum Energy Star Score	Compliant	
4	104	Minimum Energy Star Label	Compliant	
5	105	Minimum Energy Star Score	Compliant	
6	106	Minimum Energy Star Label	Compliant	
7	107	Minimum Energy Star Score	Compliant	
8	108	Minimum Energy Star Label	Compliant	
9	109	Minimum Energy Star Score	Compliant	
10	110	Minimum Energy Star Label	Compliant	
11	111	Minimum Energy Star Score	Compliant	
12	112	Minimum Energy Star Label	Compliant	
13	113	Minimum Energy Star Score	Compliant	
14	114	Minimum Energy Star Label	Compliant	
15	115	Minimum Energy Star Score	Compliant	
16	116	Minimum Energy Star Label	Compliant	
17	117	Minimum Energy Star Score	Compliant	
18	118	Minimum Energy Star Label	Compliant	
19	119	Minimum Energy Star Score	Compliant	
20	120	Minimum Energy Star Label	Compliant	

1100 W. 27th St  
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 1100 W. 27th St

**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: 1100 W. 27th St  
 Calculation Date: 11/11/2014  
 Final File Name: 1100W27th.rvt

Page 2 of 4

Energy Use Index (EUI) Summary

Category	Value	Requirement	Compliance
Heating	15.5	≤ 15.5	Compliant
Cooling	12.5	≤ 12.5	Compliant
Water Heating	8.5	≤ 8.5	Compliant
Electric	15.5	≤ 15.5	Compliant
Total	52.0	≤ 52.0	Compliant

Energy Star Label Summary

Category	Value	Requirement	Compliance
Heating	15.5	15.5	Compliant
Cooling	12.5	12.5	Compliant
Water Heating	8.5	8.5	Compliant
Electric	15.5	15.5	Compliant
Total	52.0	52.0	Compliant

1100 W. 27th St  
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Page 3 of 4

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4	104	Minimum Energy Star Label	Compliant	
5	105	Minimum Energy Star Score	Compliant	
6	106	Minimum Energy Star Label	Compliant	
7	107	Minimum Energy Star Score	Compliant	
8	108	Minimum Energy Star Label	Compliant	
9	109	Minimum Energy Star Score	Compliant	
10	110	Minimum Energy Star Label	Compliant	
11	111	Minimum Energy Star Score	Compliant	
12	112	Minimum Energy Star Label	Compliant	
13	113	Minimum Energy Star Score	Compliant	
14	114	Minimum Energy Star Label	Compliant	
15	115	Minimum Energy Star Score	Compliant	
16	116	Minimum Energy Star Label	Compliant	
17	117	Minimum Energy Star Score	Compliant	
18	118	Minimum Energy Star Label	Compliant	
19	119	Minimum Energy Star Score	Compliant	
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Page 4 of 4

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9	109	Minimum Energy Star Score	Compliant	
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18	118	Minimum Energy Star Label	Compliant	
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1100 W. 27th St  
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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

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1100 W. 27th St  
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**CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD**

Project Name: 1100 W. 27th St  
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Page 2 of 4

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Total	52.0	52.0	Compliant

1100 W. 27th St  
 1100 W. 27th St  
 1100 W. 27th St  
 1100 W. 27th St

Revision	By
12.27.2017	

Drawings By  
 Randy O'Connor  
 945 12th Street, C  
 Portland, OR 97203  
 503.237.7617

**TITLE 24**

**ARNOLD RESIDENCE**  
 1100 W. 27th Street  
 SEASIDE, OR 97138

Rev	12.27.2017
9	

**COMPLETION OF PERFORMANCE - RESIDENTIAL PERFORMANCE CHECK FORM (RPF) - 2016**

Project Name: [Blank] | Location: [Blank] | Date: [Blank]

Contractor: [Blank] | Inspector: [Blank]

Section	Pass	Fail	Notes
1. GENERAL INFORMATION			
2. EXTERIOR WALLS			
3. ROOFING			
4. FLOORING			
5. INTERIORS			
6. MECHANICAL/ELECTRICAL/PLUMBING			
7. FINISHES			
8. ENERGY EFFICIENCY			
9. SAFETY			
10. COMMUNICATIONS			

**2016 Low-Rise Residential Mandatory Measures Summary**

Overall Status: [Blank]

Inspector: [Blank]

**COMPLETION OF COMPLIANCE - RESIDENTIAL PERFORMANCE CHECK FORM (RPF) - 2016**

Project Name: [Blank] | Location: [Blank] | Date: [Blank]

Contractor: [Blank] | Inspector: [Blank]

**2016 Low-Rise Residential Mandatory Measures Summary**

Overall Status: [Blank]

Inspector: [Blank]

**2016 Low-Rise Residential Mandatory Measures Summary**

Overall Status: [Blank]

Inspector: [Blank]

**2016 Low-Rise Residential Mandatory Measures Summary**

Overall Status: [Blank]

Inspector: [Blank]

**2016 Low-Rise Residential Mandatory Measures Summary**

Overall Status: [Blank]

Inspector: [Blank]

**2016 Low-Rise Residential Mandatory Measures Summary**

Overall Status: [Blank]

Inspector: [Blank]

Revisions	By
12.27.2017	

Inspected By:  
**Randy O'Connor**  
 945 14th Street, G  
 Paso Robles, CA 92371  
 805 237 7801

**TITLE 24**

**ARNOLD RESIDENCE**  
 NICK ARNOLD, 12011111 STREET,  
 LOS ANGELES, CALIFORNIA 90022

04.23.2017  
 10

Property ID	Address	City	State	Zip	County	Assessor's Parcel No.	Assessed Value	Market Value	Exemption	Notes
10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000

Property ID	Address	City	State	Zip	County	Assessor's Parcel No.	Assessed Value	Market Value	Exemption	Notes
10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000

Property ID	Address	City	State	Zip	County	Assessor's Parcel No.	Assessed Value	Market Value	Exemption	Notes
10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000

Property ID	Address	City	State	Zip	County	Assessor's Parcel No.	Assessed Value	Market Value	Exemption	Notes
10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000

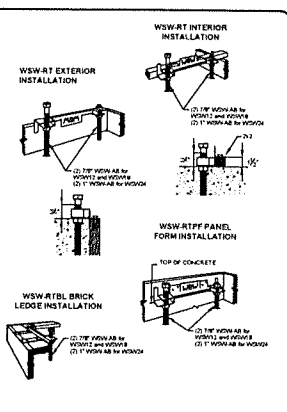
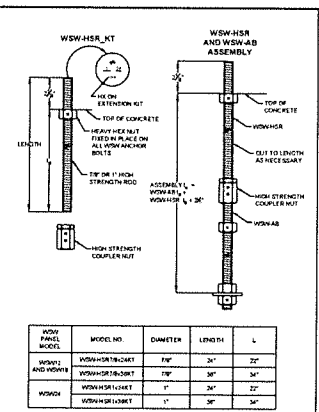
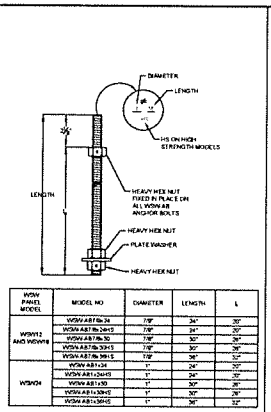
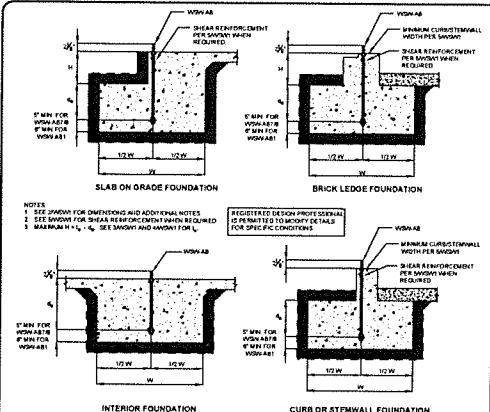
Property ID	Address	City	State	Zip	County	Assessor's Parcel No.	Assessed Value	Market Value	Exemption	Notes
10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000	10000000000000000000

Revisions	Pg
12.27.2017	

Drawn by: Randy O'Connor  
 945 12th Street, C  
 Pasadena, CA 91107  
 626.797.1917

# GREENPOINT LIST

**ARNOLD RESIDENCE**  
 NICK ARNOLD, 11311111 STREET,  
 LOS ANGELES, CA 90001  
 626.561.8142



**STRONG-WALL® WSW ANCHORAGE - TYPICAL SECTIONS** | **WSW ANCHOR BOLTS** | **WSW ANCHOR BOLT EXTENSION** | **WSW ANCHOR BOLT TEMPLATES**

**FOUNDATION PLAN VIEW**

**WSW ANCHORAGE SOLUTIONS FOR 3000 PSI CONCRETE**

DESIGN CRITERIA	CONCRETE STRENGTH	WSW-AB ANCHOR BOLT		WSW-AB ANCHOR BOLT		
		MINIMUM ALLOWABLE TENSION (lb)	W (in)	MINIMUM ALLOWABLE TENSION (lb)	W (in)	
SEISMIC	CRACKED	STANDARD	11,500	22	11,500	22
	HIGH STRENGTH	STANDARD	11,500	22	11,500	22
	UNCRACKED	STANDARD	11,500	22	11,500	22
WIND	CRACKED	STANDARD	11,500	22	11,500	22
	HIGH STRENGTH	STANDARD	11,500	22	11,500	22
	UNCRACKED	STANDARD	11,500	22	11,500	22

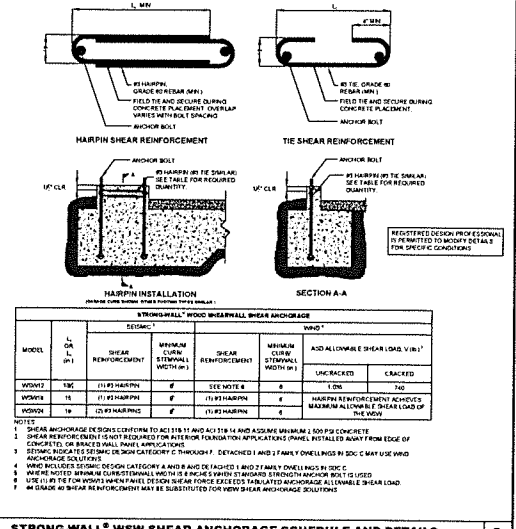
**NOTES:**  
 1. ANCHORAGE DESIGNS CONFORM TO ACI 318-11 APPENDIX B AND ACI 318-11 WITH NO SUPPLEMENTARY REINFORCEMENT FOR CRACKED OR UNCRACKED CONCRETE AS NOTED.  
 2. ANCHOR STRENGTH INDICATES REQUIRED GRADE OF WSW-AB ANCHOR BOLT. STANDARD LAST IN FIRM GRADE 30,000 PSI HIGH STRENGTH AND LAST IN FIRM GRADE 40,000 PSI HIGH STRENGTH.  
 3. SEISMIC APPLICABLE SEISMIC DESIGN CATEGORY - C - DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC 1 MAY USE WIND ANCHORAGE SOLUTIONS. SEISMIC ANCHORAGE DESIGN CONFORMS TO ACI 318-11 SECTION 17.3.3 AND ACI 318-11 SECTION 17.3.4.  
 4. WIND INCLUDES SEISMIC DESIGN CATEGORY A AND B AND DETACHED 1 AND 2 FAMILY DWELLINGS IN SDC 1.  
 5. FOUNDATION DIMENSIONS ARE FOR ANCHOR BOLT ONLY. FOUNDATION DESIGN, SIZE AND REINFORCEMENT BY OTHERS. THE REGISTERED DESIGN PROFESSIONAL MAY SPECIFY ALTERNATE EMBEDMENT, FOOTING SIZE OR ANCHOR BOLT.  
 6. REFER TO DWG FOR 4.

**WSW ANCHORAGE SOLUTIONS FOR 3000 PSI CONCRETE**

DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSW-AB ANCHOR BOLT		WSW-AB ANCHOR BOLT	
			MINIMUM ALLOWABLE TENSION (lb)	W (in)	MINIMUM ALLOWABLE TENSION (lb)	W (in)
SEISMIC	CRACKED	STANDARD	11,500	22	11,500	22
	HIGH STRENGTH	STANDARD	11,500	22	11,500	22
	UNCRACKED	STANDARD	11,500	22	11,500	22
WIND	CRACKED	STANDARD	11,500	22	11,500	22
	HIGH STRENGTH	STANDARD	11,500	22	11,500	22
	UNCRACKED	STANDARD	11,500	22	11,500	22

**WSW ANCHORAGE SOLUTIONS FOR 3500 PSI CONCRETE**

DESIGN CRITERIA	CONCRETE CONDITION	ANCHOR STRENGTH	WSW-AB ANCHOR BOLT		WSW-AB ANCHOR BOLT	
			MINIMUM ALLOWABLE TENSION (lb)	W (in)	MINIMUM ALLOWABLE TENSION (lb)	W (in)
SEISMIC	CRACKED	STANDARD	12,500	24	12,500	24
	HIGH STRENGTH	STANDARD	12,500	24	12,500	24
	UNCRACKED	STANDARD	12,500	24	12,500	24
WIND	CRACKED	STANDARD	12,500	24	12,500	24
	HIGH STRENGTH	STANDARD	12,500	24	12,500	24
	UNCRACKED	STANDARD	12,500	24	12,500	24



**STRONG-WALL® WOOD SHEAR TENSION ANCHORAGE SCHEDULE 2,500, 3,000 AND 4,500 PSI** | **STRONG-WALL® WSW SHEAR ANCHORAGE SCHEDULE AND DETAILS**

**SWIPSON STRONG-WALL COMPANY INC.**  
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**STRONG-WALL® WSW ANCHORAGE DETAILS ENGINEERED DESIGNS**

**SWIPSON**

**WSW1**

DATE: 07-21-2018  
 SCALE: 1/2" = 1'-0"  
 SHEET: 1 OF 1